



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION

1516B Ferguson Avenue

January 16, 2013

Application: New construction-addition

District: Belmont-Hillsboro Neighborhood Conservation Zoning Overlay

Council District: 18

Map and Parcel Number: 11708012300

Applicant: Matt Lackey, owner

Project Lead: Robin Zeigler, robin.zeigler@nashville.gov

Description of Project: The applicant proposes to construct a front and second floor addition to a non-contributing house.

Recommendation Summary: Staff recommends approval with the conditions that the applicant obtain final approval of specifications for windows, trim, porch, brick, and bay and roof color from staff and that the front porch roof be redesigned to be more similar to historic porch roof forms. With these conditions, the project meets II.B of the design guidelines for new construction and additions.

Attachments

A: Photographs

B: Site Plan

D: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II. B. GUIDELINES

a. Height

The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

b. Scale

The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.

c. Setback and Rhythm of Spacing

The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.

d. Materials, Texture, Details, and Material Color

The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum siding are not appropriate.

T-1-11- type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal.

Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").

Four inch (4") nominal corner boards are required at the face of each exposed corner.

Stud wall lumber and embossed wood grain are prohibited.

Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.

When different materials are used, it is most appropriate to have the change happen at floor lines.

Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.

Texture and tooling of mortar on new construction should be similar to historic examples.

Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.

e. Roof Shape

The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings. With the exception of chimneys, roof-top equipment and roof penetrations shall be located so as to minimize their visibility from the street.

f. Orientation

The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.

g. Proportion and Rhythm of Openings

The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district.
In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.
Double-hung windows should exhibit a height to width ratio of at least 2:1.
Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.
Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.
Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.
Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.

2. ADDITIONS

- a. Generally, an addition should be situated at the rear of a building in such a way that it will not disturb either front or side facades. To distinguish between the historic structure and an addition, it is desirable to set the addition in from the building side wall or for the addition to have a different cladding. Additions not normally recommended on historic structures may be appropriate for non-historic structures. Front or side alterations to non-historic structures that increase space or change exterior height should be compatible by not contrasting greatly with adjacent historic buildings.

Placement

Additions should be located at the rear of an existing structure.
Connections to additions should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.
Generally, one-story rear additions should inset one foot, for each story, from the side wall.
Additions should be physically distinguished from the historic building and generally fit within the shadow line of the existing building.

In order to assure that an addition has achieved proper scale, the addition should generally be shorter and thinner than the existing building. Exceptions may be made when unusual constraints make these parameters unreasonable, such as:

- An extreme grade change*
- Atypical lot parcel shape or size*

In these cases, an addition may rise above or extend wider than the existing building; however, generally the addition should not higher and extend wider.

When an addition needs to be taller:

Whenever possible, additions should not be taller than the historic building; however, when a taller addition is the only option, additions to single story structures may rise as high as 4' above the shadow line of the existing building at a distance of 40' from the front edge of the existing building. In this instance, the side walls and roof of the addition must set in as is typical for all additions. The portion of the roof that can be seen should have a hipped, side gable or clipped gable roof to help decrease the visual mass of the addition.

When an addition needs to be wider:

Rear additions that are wider than an existing historic building may be appropriate when the building is narrower than 30' or shifted to one side of the lot. In these instances, a structural alcove or channel must separate the existing building from the new addition. The structural alcove should sit in a minimum of 1' and be at least twice as long as it is deep.

In addition, a rear addition that is wider should not wrap the rear corner.

Roof

The height of the addition's roof and eaves must be less than or equal to the existing structure.

Visually evident roof slopes should match the roof slopes of the existing structure, and roof planes should set in accordingly for rear additions.

- b. When a lot exceeds 60 feet or the standard lot width on the block, it may be appropriate to add a side addition to a historic structure. The addition should set back from the face of the historic structure and should be subservient in height, width and massing to the historic structure.
- c. The creation of an addition through enclosure of a front porch is not appropriate. The creation of an addition through the enclosure of a side porch may be appropriate if the addition is constructed in such a way that the original form and openings on the porch remain visible and undisturbed.
- d. Contemporary designs for additions to existing properties are not discouraged when such additions do not destroy significant historical, architectural, or cultural material; and when such design is compatible, by not contrasting greatly, with the size, scale, color, material, and character of the property, neighborhood, or environment.
- d. A new addition should be constructed in such a manner that if the addition were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.
- e. Additions should follow the guidelines for new construction.

Background: 1516B Ferguson was constructed c.1925. Although it was constructed within the period of significance its form and design were greatly altered prior to the designation of the district and it no longer contributes to the historic character of the neighborhood.



Analysis and Findings:

Location, Height and Scale: The addition is on the front and second level of the building, which is appropriate in this case because the building is non-contributing and the addition will help to correct a prior addition that is inappropriate for the house and neighborhood. The first floor will only increase in size by two and one-half feet (2.5'). The second level portion of the addition will change the appearance of the building from a one and one-half story home to a full two-story home; however the overall height will not change. The majority of the historic context is one and one-half story homes but there is a two and one-half story home across the street and the overall height is in keeping with other historic buildings in the immediate context.

The project does not meet section II.B.2.e as the addition will not be easily removable; however, this is appropriate in this case since the building is non-contributing.

Because the addition will improve the compatibility of the home with the neighborhood, the project meets section II.B.a and b. and II.B.2.a of the design guidelines.

Setbacks: The side and rear setbacks will not change but the front setback will change slightly with the addition of an approximately two and one half feet (2 ½') front addition. Because this alteration is minimal and still maintains a front setback similar to the historic context, the project meets section II.B.c

Materials, Texture, Details, and Material Color: The foundation is parge coated CMU, the siding fiber cement lap siding to match the existing, and the roof is asphalt shingle and metal, colors unknown. Materials for windows, doors, trim, railing and bay are unknown. The chimney will be brick. All known materials are appropriate for the district and have been approved by the Commission in the past. With the condition that additional material specifications be provided, the project meets section II.B.d of the design guidelines.

Roof Shape: The existing roof pitch will not be altered and is 4/12. The addition will change the front-gable roof form to a hipped roof form which is more appropriate for a two-story house.

The porch roof extends beyond the sidewalls of the house which is a design scenario not seen on historic buildings. Staff recommends altering the roof form to be similar to what is seen historically and the applicant has agreed to work with staff to find an appropriate solution. With the condition that the roof form be altered, the project meets section II.B.e of the design guidelines.

Proportion and Rhythm of Openings: The majority of window openings will remain the same and new windows will match the existing in proportions and design. The project meets section II.B.g of the design guidelines.

Utilities: II.B.f and h are not relevant to this project as the orientation and utility location

will not change.

Staff recommends approval with the conditions that the applicant obtain final approval of specifications for windows, trim, porch, brick, and bay and roof color from staff and that the front porch roof be redesigned to be more similar to historic porch roof forms. With these conditions, the project meets II.B of the design guidelines for new construction and additions.



EXISTING FRONT ELEVATION



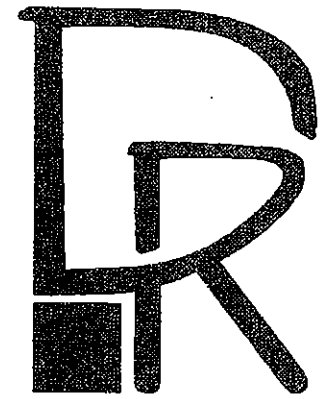
PROPOSED FRONT ELEVATION

LACKEY RESIDENCE ALTERATIONS

1516 B Ferguson Avenue
Nashville, Tennessee

DATE: 02 JAN. 2013

Robinette Dyer Architects



427 Chestnut Street

Suite 103

Nashville, TN 37203

615-519-4169

t.robinettedyer@gmail.com

DRAWING INDEX

C10 SITE PLAN

A1.1 FIRST FLOOR PLAN

A1.2 FIRST FLOOR PLAN

A1.3 ROOF PLAN

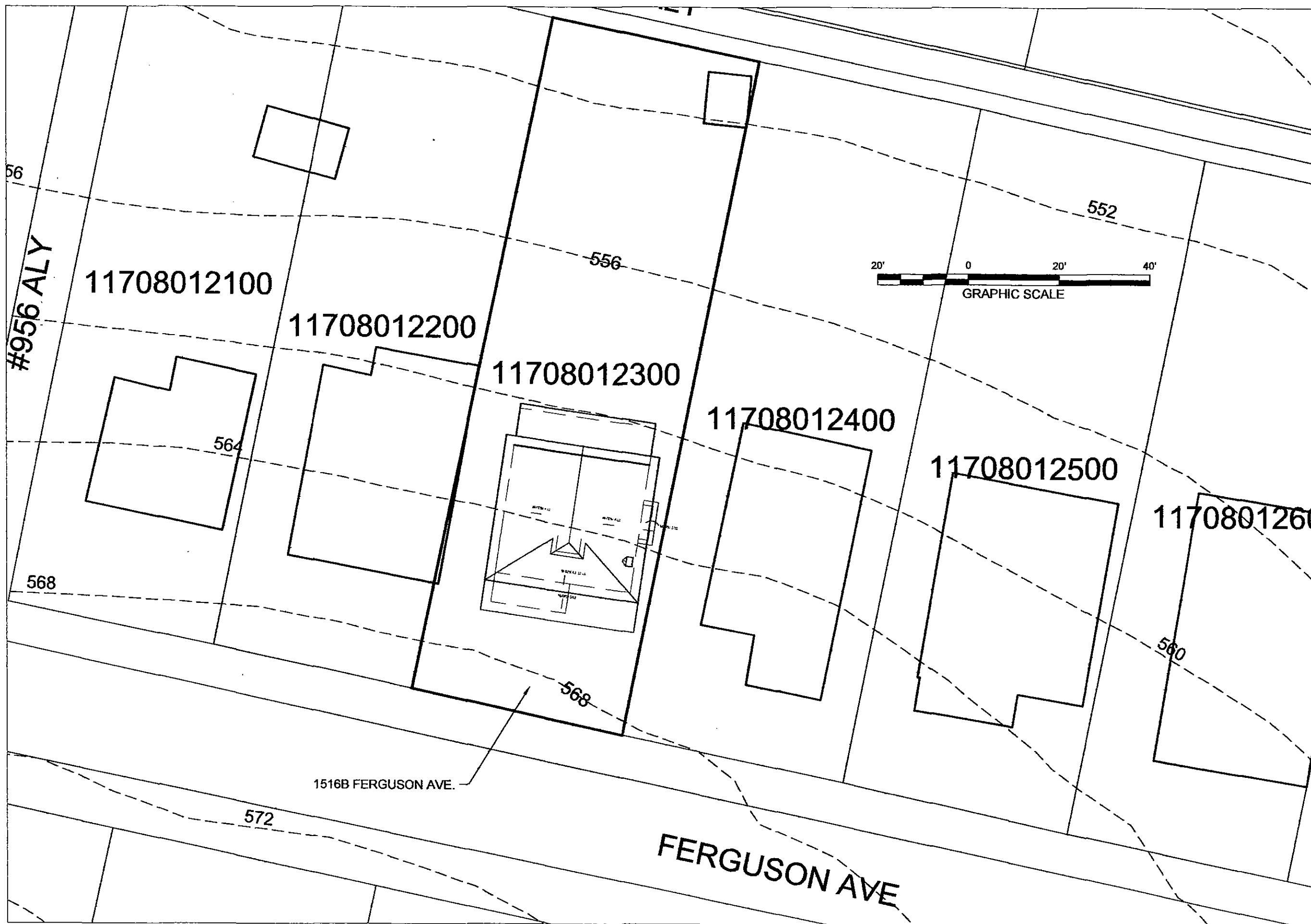
A2.1 EAST ELEVATION

A2.2 NORTH ELEVATION

A2.3 WEST ELEVATION

A2.4 SOUTH ELEVATION

A4.0 WINDOW DETAILS



Robinette Dyer Architects
 427 Chestnut Street
 Suite 103
 Nashville, TN 37203
 615-619-4189
 Lrobinetdyer@gmail.com

Revisions	Date	By

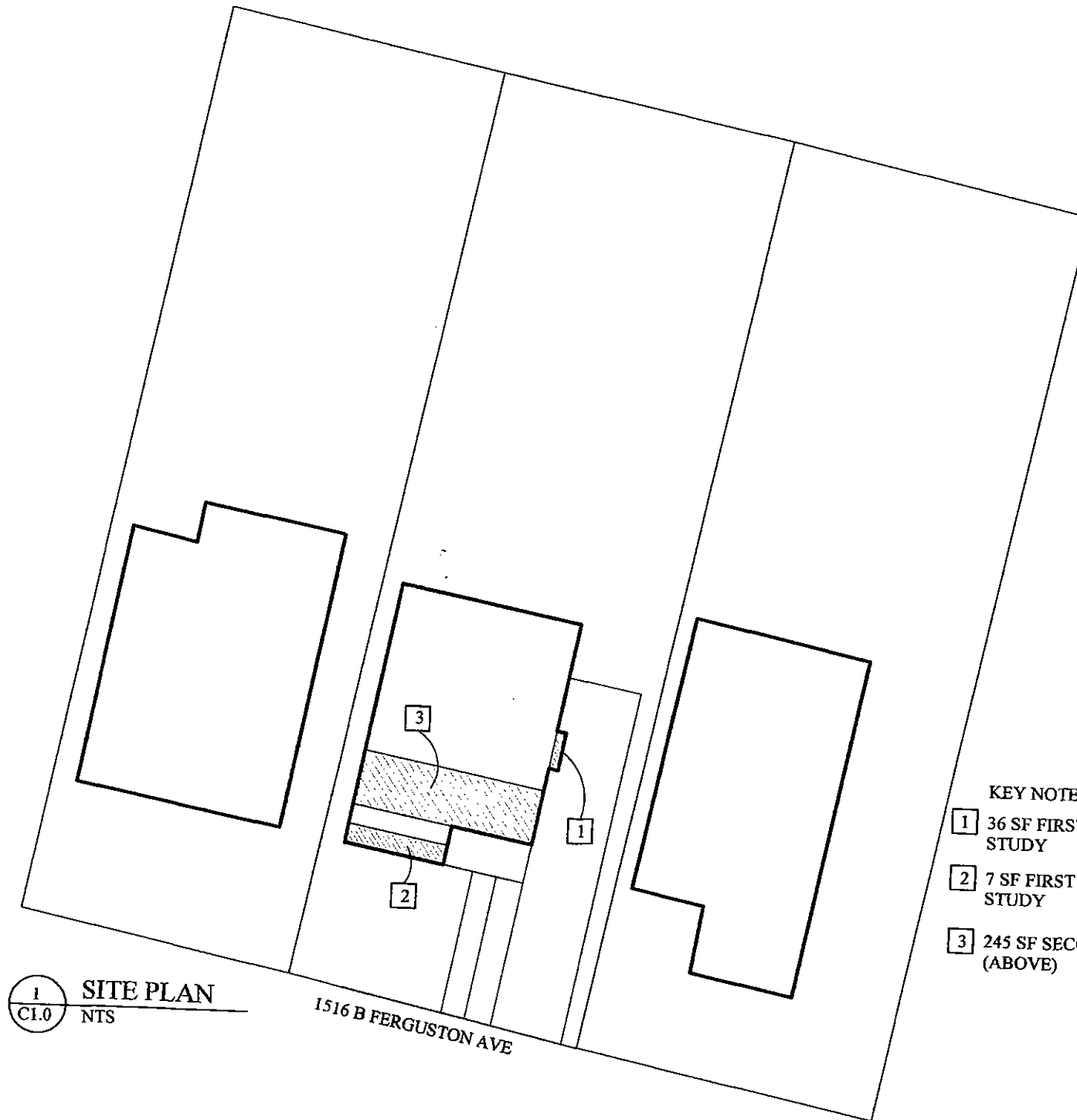
SITE PLAN

LACKEY RESIDENCE
 Ferguson Street,
 Nashville, Tennessee

BY: CK:

DATE:
 02 JAN. 2013

C1.0



- KEY NOTES:
- 1 36 SF FIRST FLOOR ADDITION TO STUDY
 - 2 7 SF FIRST FLOOR ADDITION TO STUDY
 - 3 245 SF SECOND FLOOR ADDITION (ABOVE)

1 SITE PLAN
C1.0 NTS

1516 B FERGUSTON AVE

Robinette Dyer Architects

427 Chestnut Street
Suite 103
Nashville, TN 37203
615-519-4169
r.dyer@robinettdyer.com

Revisions	Date	By

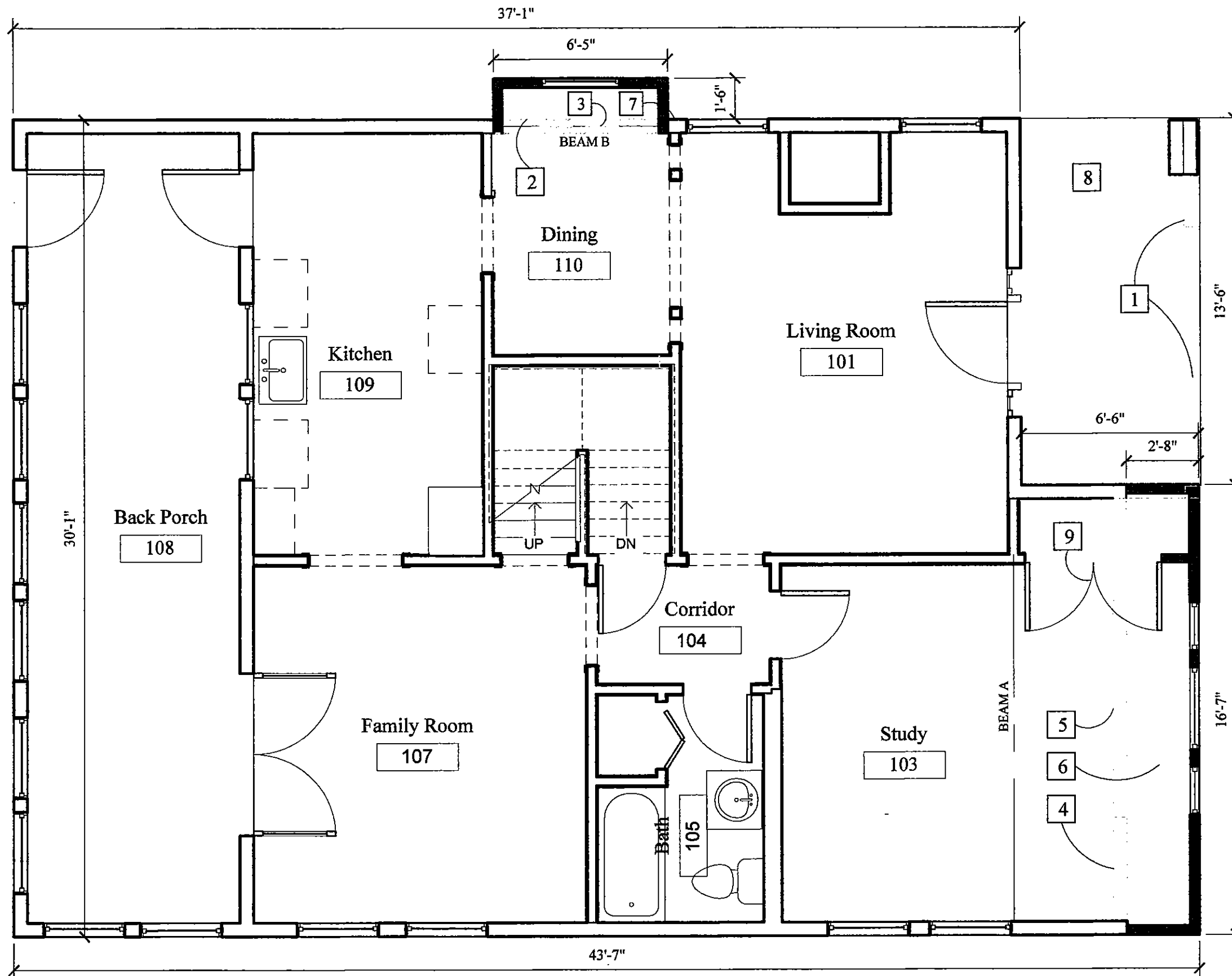
SITE
PLAN

LACKEY RESIDENCE
Ferguson Street,
Nashville, Tennessee

BY: CK:

DATE:
2 JAN. 2013

C1.0



KEY NOTES: APPLY TO
THIS PAGE ONLY

- 1 REMOVE PORCH ROOF & COLUMNS
AS INDICATED
- 2 REMOVE WALLS AS INDICATED
BRACE AS REQ.
- 3 REMOVE EXISTING WINDOW &
RELOCATE AS INDICATED
- 4 REMOVE WALLS AS INDICATED
BRACE AS REQ.
- 5 REMOVE EXISTING BAY WINDOW.
- 6 NEW STUDY ADDITION
- 7 NEW DINING ROOM BAY ADDITION-
FIELD VERIFY EXISTING LIVING
ROOM WINDOW LOCATION. LEAVE 4"
MIN SIDING BETWEEN TRIM AND BAY
- 8 NEW COLUMNS & BASE
- 9 NEW CLOSET DOORS CONFIGURED AS
APPROVED BY OWNER

1
A1.1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

DEMOLITION
NEW EXTERIOR OR
INTERIOR WALLS

Revisions	Date	By

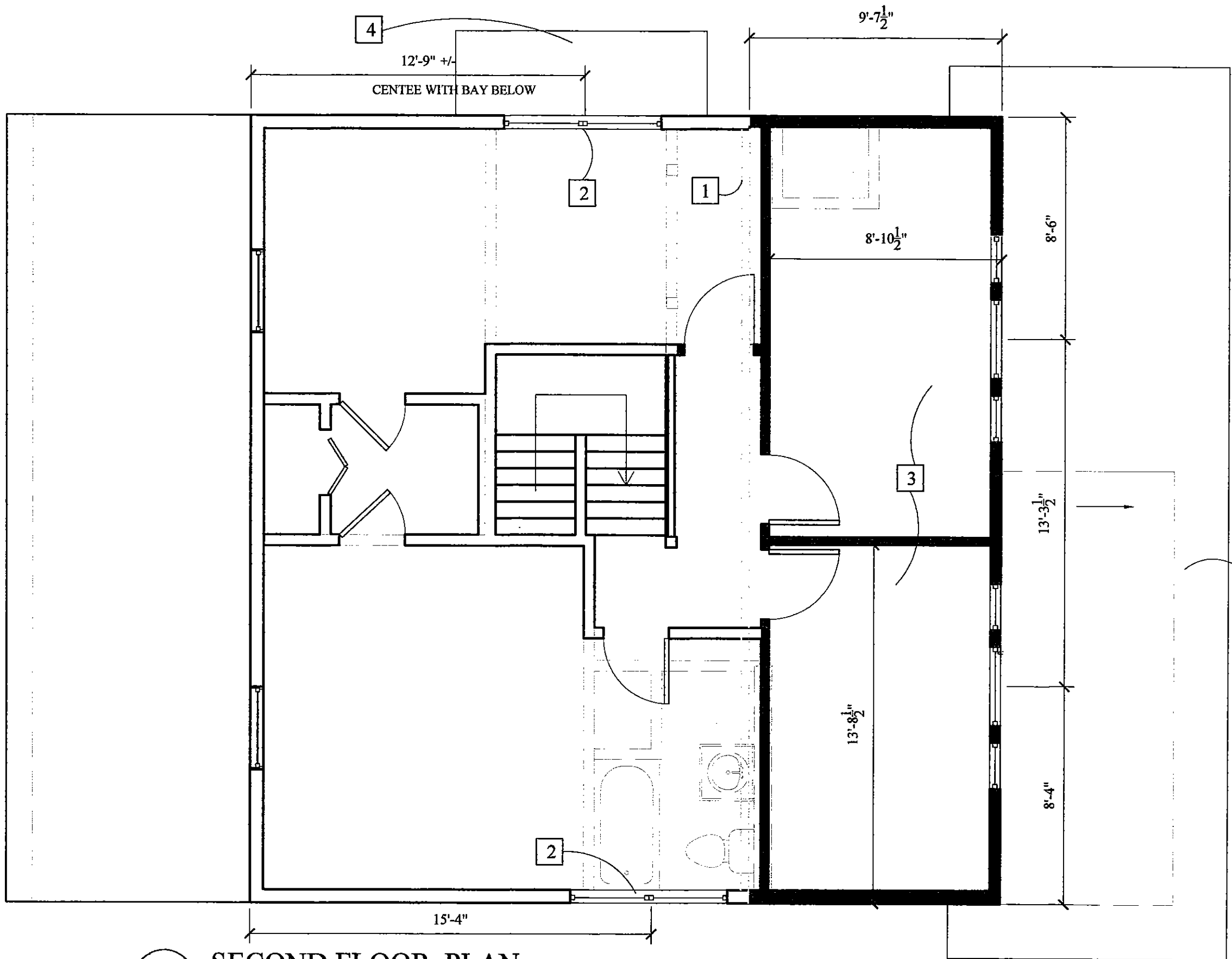
First Floor Plan

LACKEY RESIDENCE
Ferguson Street,
Nashville, Tennessee

BY: CK:

DATE:
2 JAN. 2113

A1.1




KEY NOTES: APPLY TO THIS PAGE ONLY

- 1 REMOVE WALLS AS INDICATED
BRACE AS REQ.
- 2 REMOVE EXISTING WINDOW
& RELOCATE AS INDICATED
- 3
- 4 NEW STANDING SEAM
MTL ROOF W/ 16"
PANELS

2 SECOND FLOOR PLAN
A1.2 SCALE: 1/4" = 1'-0"

DEMOLITION
NEW EXTERIOR OR
INTERIOR WALLS

Robinette Dyer Architects



427 Chestnut Street
Suite 103
Nashville, TN 37203
615-519-4169
lrobinettdyer@gmail.com

Revisions	Date	By

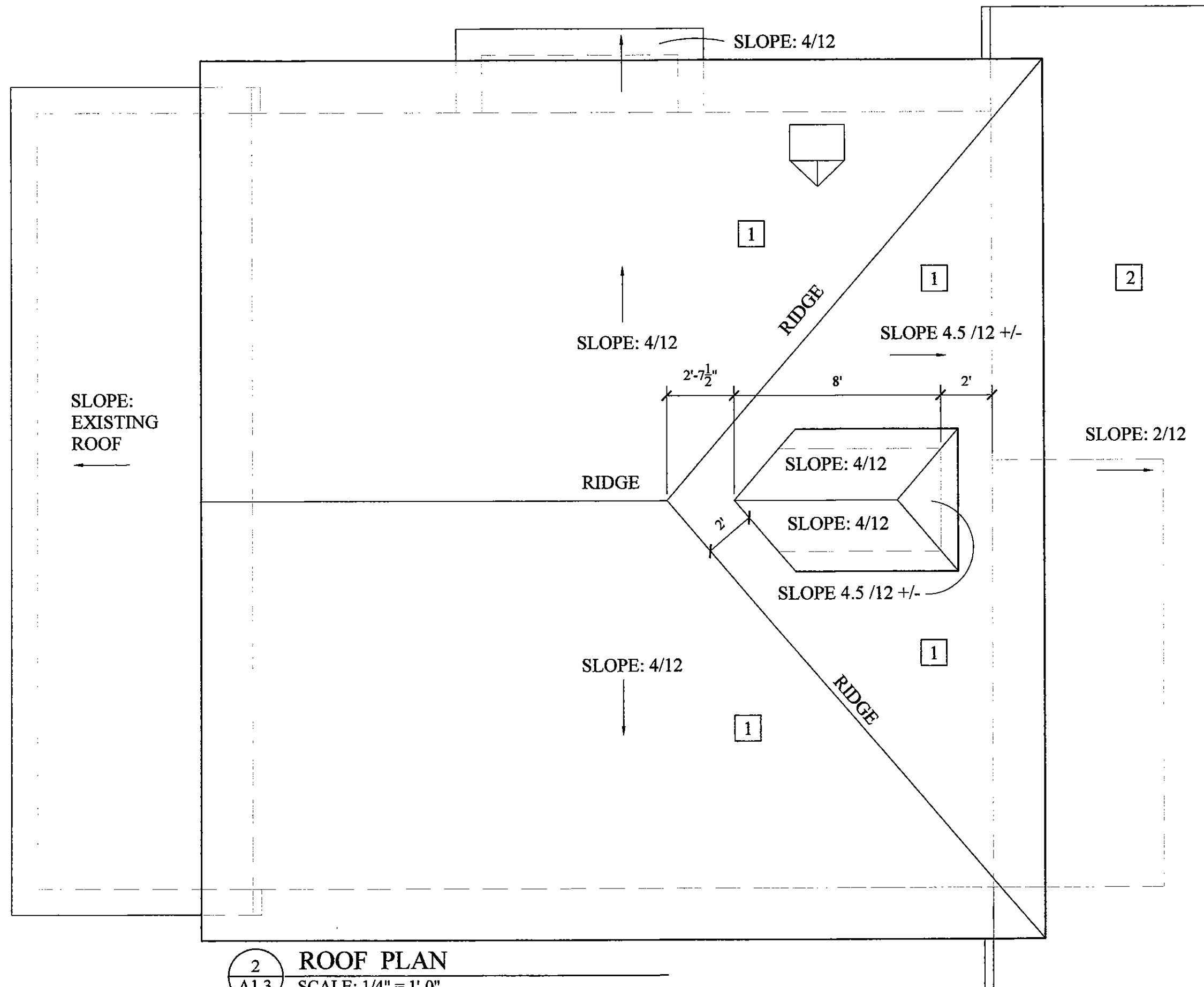
SECOND
FLOOR PLAN

LACKEY RESIDENCE
Ferguson Street,
Nashville, Tennessee

BY: CK:

DATE:
16 Nov. 2012

A1.2



KEY NOTES:

- 1 NEW HIP ROOF
W/ASPHALT SHINGLES
- 2 NEW STANDING SEAM
MTL ROOF W/ 16"
PANELS

Robinette Dyer Architects

427 Chestnut Street
Suite 103
Nashville, TN 37203
615-519-4169
r.dyer@robinettdyer.com

Revisions	Date	By

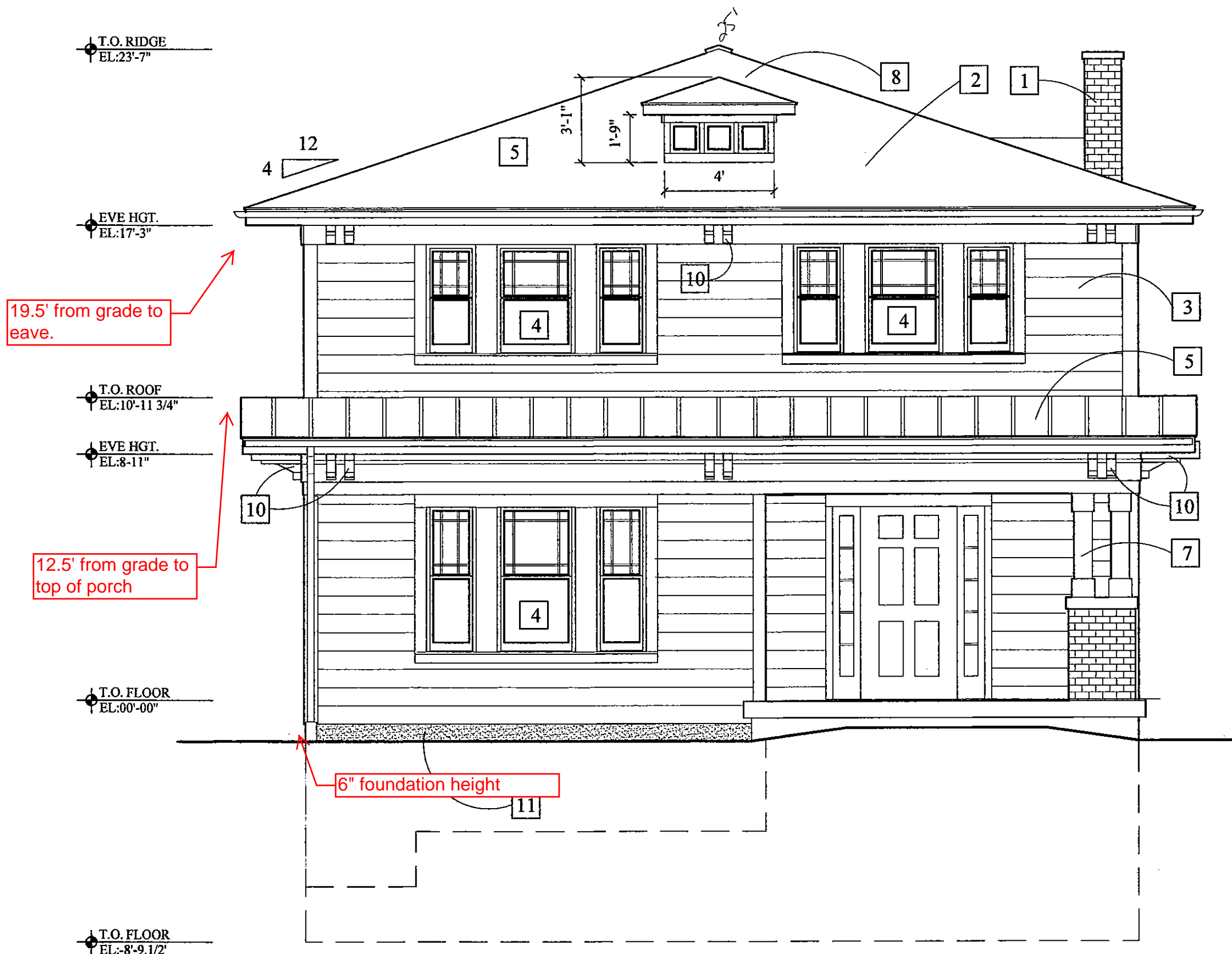
ROOF PLAN

LACKEY RESIDENCE
Ferguson Street,
Nashville, Tennessee

BY: CK:

DATE:
2 JAN. 2013

A1.3



KEY NOTES: APPLY TO THIS SHEET ONLY

- 1 NEW BRICK VENEER CHIMNEY W/ ROOF SADDLE
- 2 NEW ASPHALT SHINGLES
- 3 NEW HARDI-PLANK OR EQUAL SIDING TO MATCH ORIGINAL
- 4 NEW WINDOWS MATCH ORIGINAL TRIM (SEE A4.0)
- 5 NEW ROOF STRUCTURE.
- 6 NEW METAL PORCH ROOF AND STRUCTURE
- 7 NEW COLUMNS & BASE
- 8 NEW ATTIC DORMER
- 9 RELOCATE EXISTING WINDOW AS INDICATED
- 10 NEW WD BRACKETS
- 11 PARGE COAT NEW CMU WALL

Robinette Dyer Architects



427 Chestnut Street
Suite 103
Nashville, TN 37203
615-619-4189
r.dyer@robinettedyer.com

Revisions	Date	By

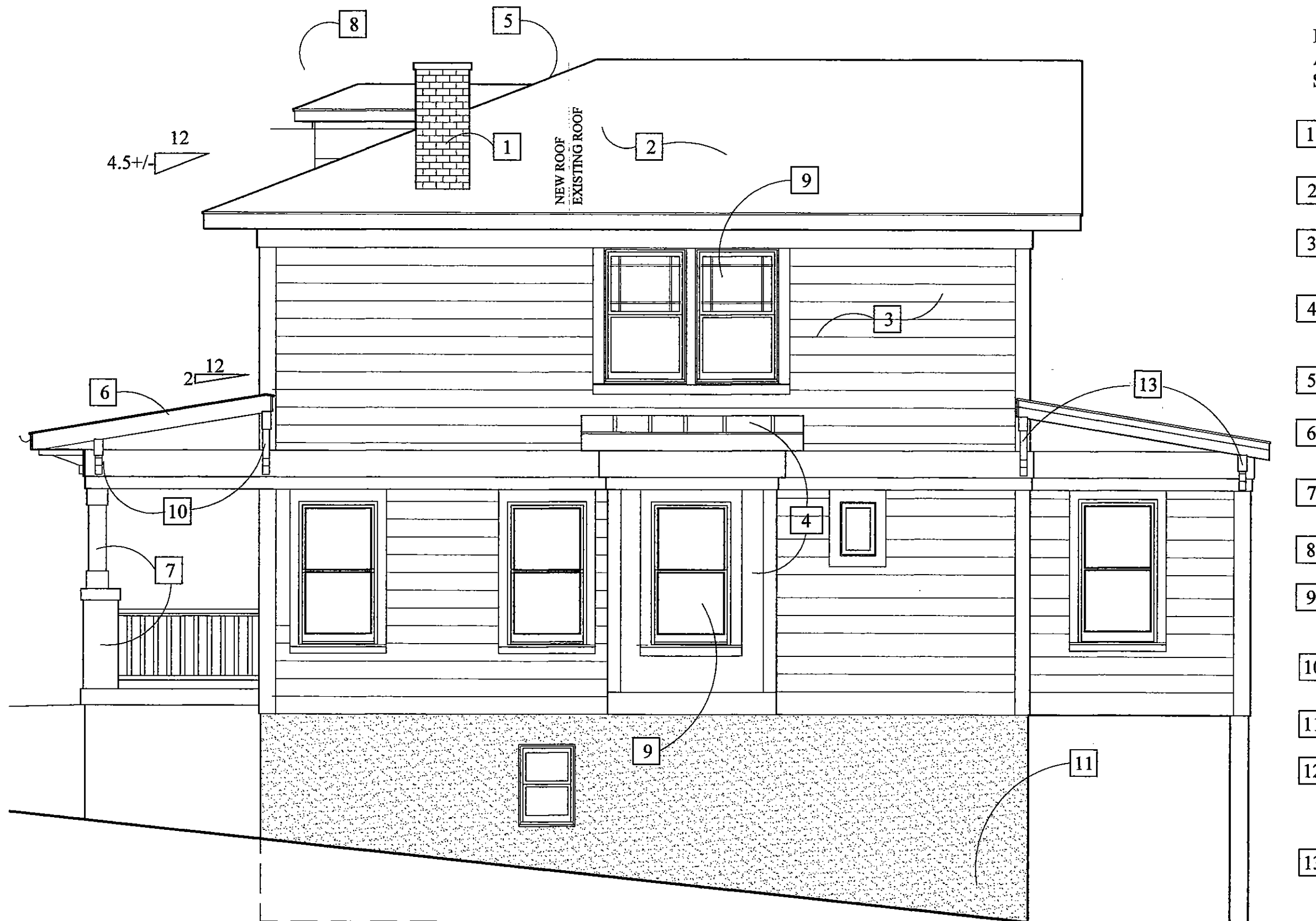
**EXTERIOR
ELEVATION**

LACKEY RESIDENCE
Ferguson Street,
Nashville, Tennessee

BY: CK:

DATE:
02 JAN. 2013

A2.1



KEY NOTES:
APPLY TO THIS
SHEET ONLY

- 1 NEW BRICK VENEER CHIMNEY
W/ ROOF SADDLE
- 2 NEW ASPHALT SHINGLES
- 3 NEW SIDING TO MATCH
ORIGINAL
- 4 NEW BAY ADDITION W/
STANDING SEAM MTL ROOF
- 5 NEW ROOF STRUCTURE.
- 6 NEW STANDING SEAM
MTL PORCH ROOF
- 7 NEW COLUMNS & BASE
- 8 NEW ATTIC DORMER
- 9 RELOCATE EXISTING
WINDOW AS INDICATED
- 10 NEW WD BRACKETS
- 11 PARGE COAT EXISTING
BRICK WALL
- 12 NEW PAINTED WOOD
RAILING W/BANISTER,
2X2 SPINDLES AND
BOTTOM RAIL
- 13 EXISTING SIDING AND
TRIM TO REMAIN

Robinette Dyer Architects

427 Chestnut Street
Suite 103
Nashville, TN 37203
615-619-4169
L.robinedyer@gmail.com

Revisions	Date	By

EXTERIOR ELEVATION

LACKEY RESIDENCE
Ferguson Street,
Nashville, Tennessee

BY: CK:

DATE:
02 JAN, 2013

A2.2



KEY NOTES:
APPLY TO THIS
SHEET ONLY

- 1 NEW ASPHALT SHINGLES
- 2 NEW SIDING AND TRIM
TO MATCH ORIGINAL
- 3 EXISTING CMU WALL
(THIS SIDE ONLY) PAINT
AS PER OWNERS
APPROVAL
- 4 EXISTING SIDING AND
TRIM TO REMAIN

1 WEST ELEVATION
A2.3 SCALE: 1/4" = 1'-0"

Robinette Dyer Architects



427 Chestnut Street
Suite 103
Nashville, TN 37203
615-519-4189
lrobinette@rdyearch.com

Revisions	Date	By

EXTERIOR
ELEVATION

LACKEY RESIDENCE
Ferguson Street,
Nashville, Tennessee

BY: CK:

DATE:
02 JAN. 2013

A2.3



KEY NOTES:
APPLY TO THIS
SHEET ONLY

- 1 NEW BRICK VENEER CHIMNEY
W/ ROOF SADDLE
- 2 NEW ASPHALT SHINGLES
- 3 NEW SIDING TO MATCH
ORIGINAL
- 4 NEW STANDING SEAM
MTL PORCH ROOF
- 5 NEW ATTIC DORMER
- 6 RELOCATE EXISTING
WINDOW AS INDICATED
- 7 NEW WD BRACKETS
- 8 PARGE COAT EXISTING
BRICK WALL
- 9 PARGE COAT NEW CMU
WALL
- 10 EXISTING SIDING AND
TRIM TO REMAIN

Robinette Dyer Architects



427 Chestnut Street
Suite 103
Nashville, TN 37203
615-510-4189
t.robinettedyer@gmail.com

Revisions	Date	By

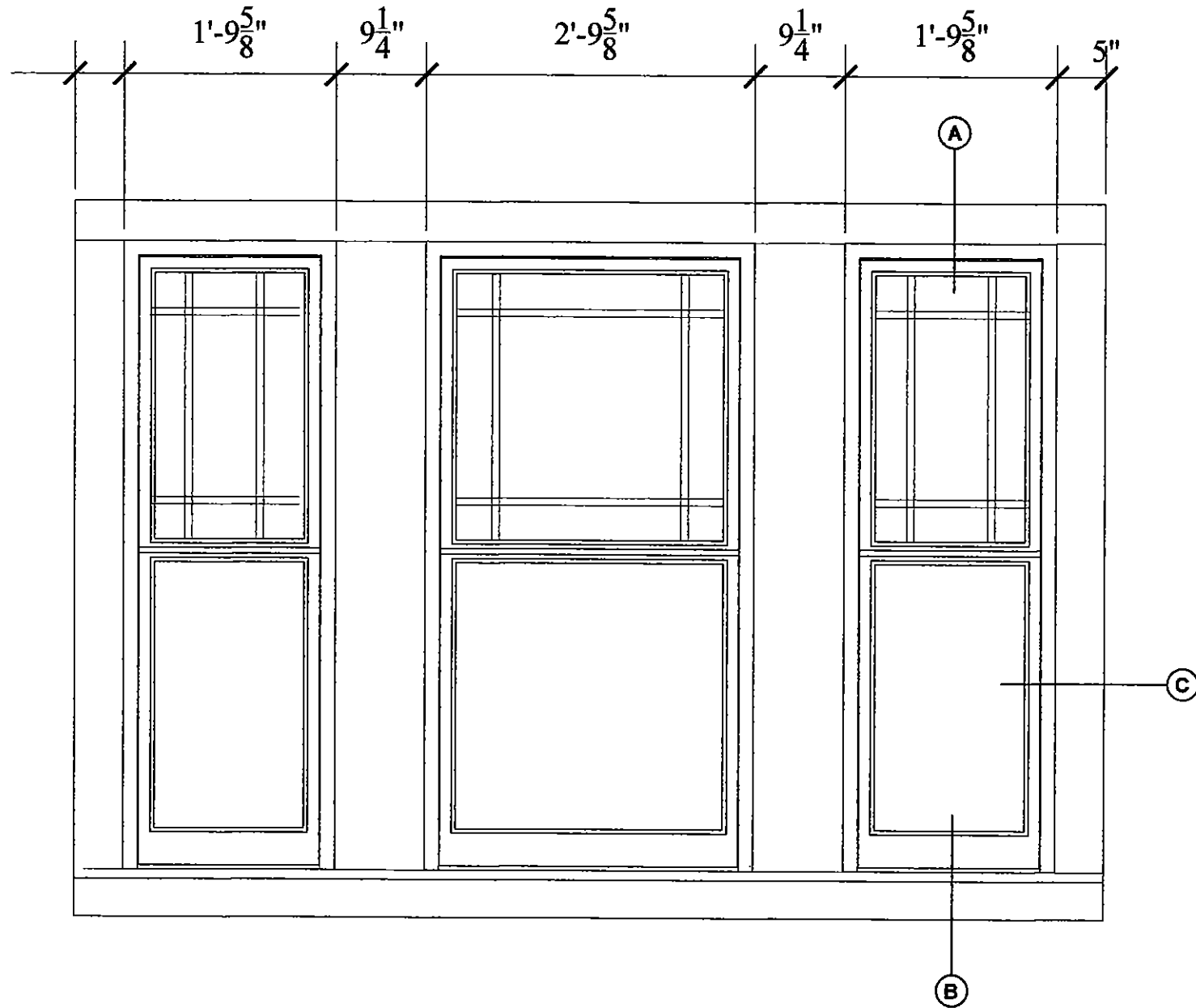
EXTERIOR
ELEVATION

LACKEY RESIDENCE
Ferguson Street,
Nashville, Tennessee

BY: CK:

DATE:
02 JAN. 2013

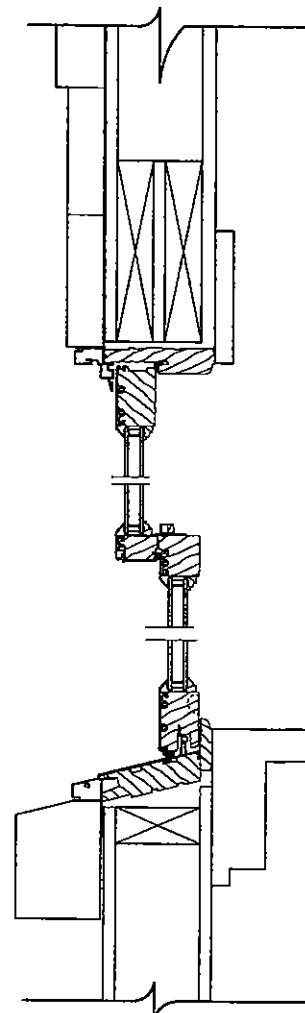
A2.4



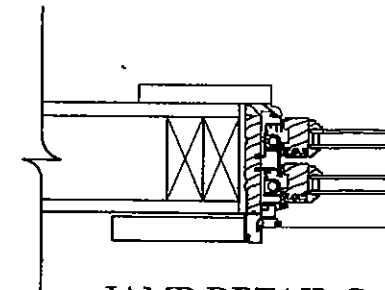
1 WINDOW ELEVATION
A4.0 SCALE: 3/4" = 1'-0"

INTERIOR AND EXTERIOR WINDOW AND DOOR CASING TO MATCH ORIGINAL. FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.

HEAD DETAIL A



SILL DETAIL B



JAMB DETAIL C

2 WINDOW CASING DETAILS
A4.0 SCALE: 1 1/2" = 1'-0"

INTERIOR AND EXTERIOR WINDOW AND DOOR CASING TO MATCH ORIGINAL. FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.

Revisions	Date	By